



**** CHAIN FREE ** EXTENDED ACCOMMODATION ** VIEWING IS ESSENTIAL **** An impressive three bedroom semi detached house which is located on the popular FENS ESTATE in Hartlepool. Features include gas central heating via a combination boiler and uPVC double glazing. This deceptively spacious property will appeal to a wide variety of prospective buyers and briefly comprises: entrance porch giving access to the hallway, spacious lounge with separate dining room, fitted kitchen, utility and conservatory. Located to the first floor are three bedrooms (all with built-in storage), family bathroom and separate toilet. The open plan front garden is laid to lawn, with a block paved driveway leading to the integral garage. The enclosed rear garden affords a good degree of privacy, is laid to lawn with well stocked borders, patio area and timber shed.

Mowbray Road, Hartlepool, TS25 2NB

3 Bed - House - Semi-Detached

Offers In The Region Of £170,000

EPC Rating: D

Council Tax Band: C

Tenure: Freehold



**SMITH &
FRIENDS**
ESTATE AGENTS

Mowbray Road, Hartlepool, TS25 2NB

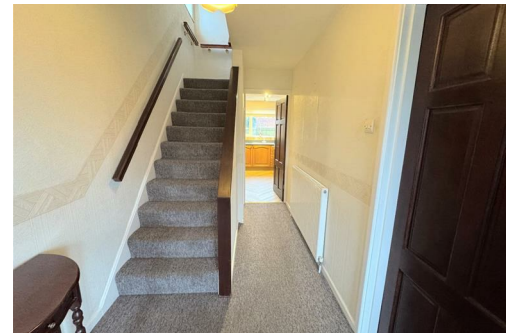


GROUND FLOOR

PORCH

ENTRANCE HALLWAY

uPVC double glazed glass panelled door, staircase to first floor landing, radiator.



LOUNGE

15'8 x 10'1 (4.78m x 3.07m)

uPVC double glazed bow window to front, living flame 'coal' effect gas fire with modern surround, radiator, glass oak doors through to the dining area.



DINING ROOM

10'1 x 8'10 (3.07m x 2.69m)

uPVC double glazed window to rear, radiator, door into the kitchen.

KITCHEN

11'4 x 7'11 (3.45m x 2.41m)

Fitted with a range of wall, base and drawer units with matching worktops, inset sink and drainer with mixer tap, four ring gas hob with oven under and illuminating extractor fan above, plumbing for washing machine, space for fridge and freezer, uPVC double glazed window to rear, door into utility.



UTILITY

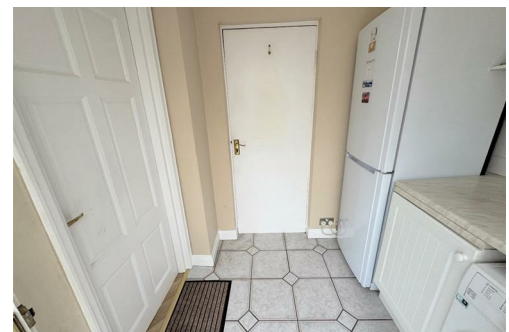
11'6 x 7'3 (3.51m x 2.21m)

uPVC double door opening into the conservatory, plumbing for washing machine and space for fridge/freezer, door into garage.

CONSERVATORY

8'3 x 5'7 (2.51m x 1.70m)

uPVC double glazed glass panelled door opening onto the rear garden.



FIRST FLOOR

LANDING

uPVC double glazed window to side, storage cupboard and access to loft.

BEDROOM 1 (front)

12'9 x 11'6 (3.89m x 3.51m)

uPVC double glazed window to front, built-in storage, radiator.



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BEDROOM 2 (rear)

11'6 x 9'7 (3.51m x 2.92m)

uPVC double glazed window to rear, built-in storage, radiator.

BEDROOM 3 (front)

8'10 x 6'8 (2.69m x 2.03m)

uPVC double glazed window to front, built-in storage, radiator.

FAMILY BATHROOM

White and chrome suite with double width walk-in shower, pedestal wash hand basin, co-ordinated tiled walls, radiator, uPVC double glazed window.

SEPARATE TOILET

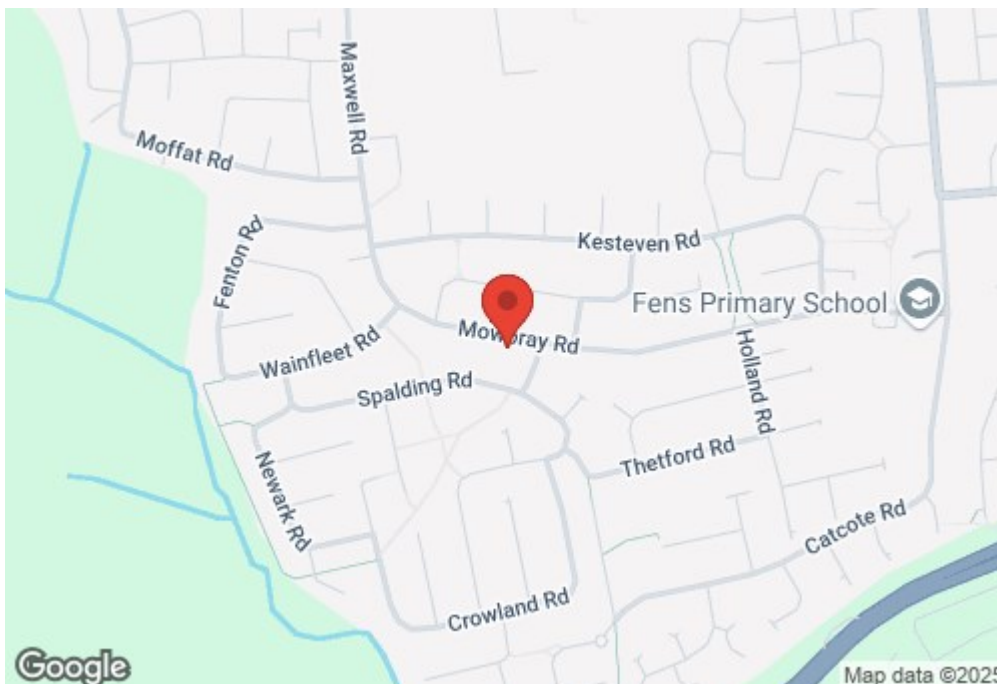
Low level WC, uPVC double glazed window.

EXTERNALLY

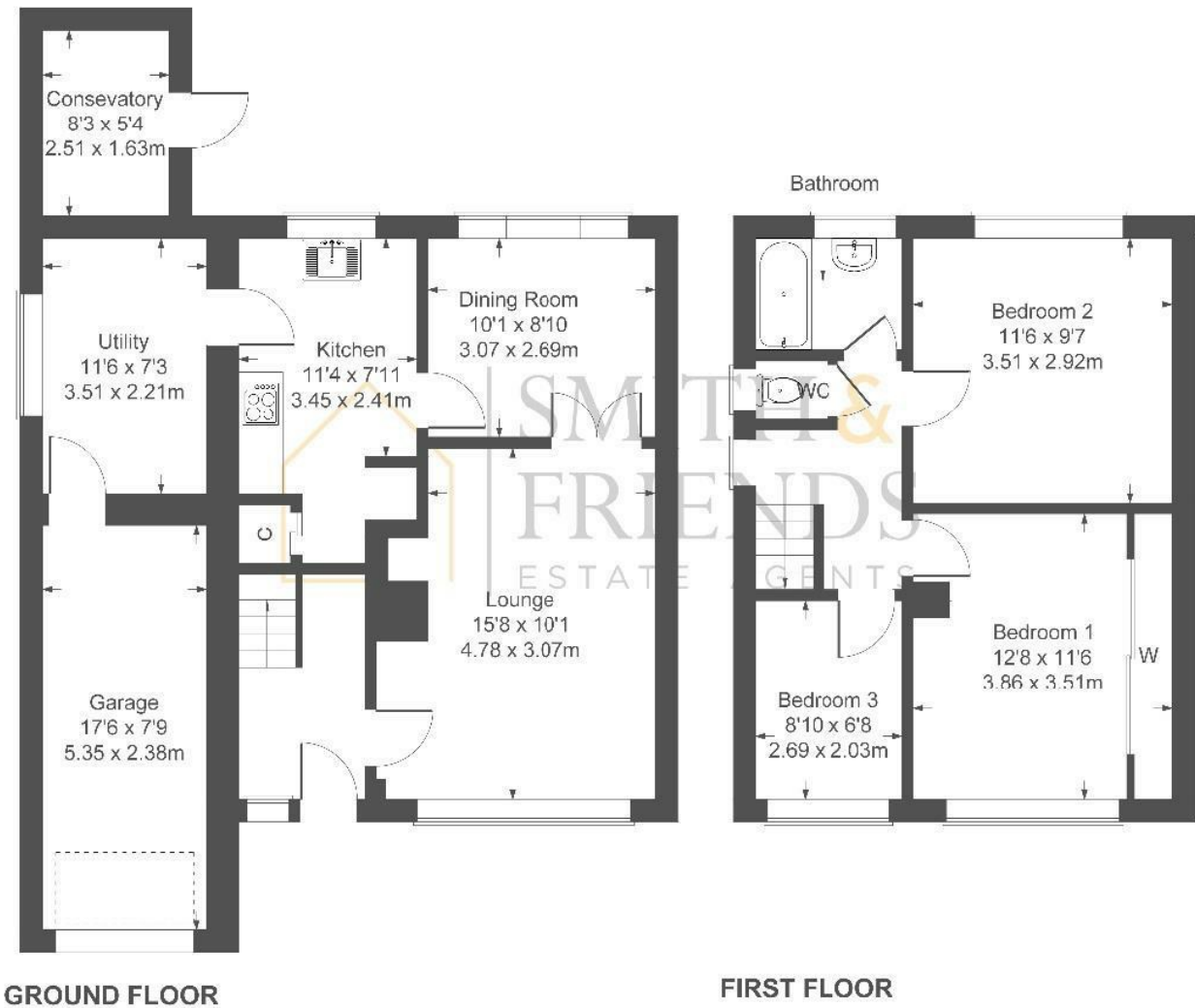
The enclosed rear garden is mainly laid to lawn, with a sunny patio area. The open plan front garden is laid to lawn, with a double width block paved driveway leading to the longer INTEGRAL GARAGE.

NB

Floorplans and title plans are for illustrative purposes only. All measurements, walls, doors, window fittings and appliances, their sizes and locations, are approximate only. They cannot be regarded as being a representation by the seller, nor their agent.



101 Mowbray rd
Approximate Gross Internal Area
1072 sq ft - 100 sq m



Not to Scale. Produced by The Plan Portal 2025
For Illustrative Purposes Only.

For clarification we wish to inform prospective purchasers that we have prepared these sales particulars as a general guide. We have not carried out a detailed survey, nor tested the services, appliances and specific fittings. Room sizes should not be relied upon for carpets and furnishings, if there are important matters which are likely to affect your decision to buy, please contact us before viewing the property. Smith & Friends Estate Agents can recommend financial services, surveying and conveyancing services to sellers and buyers. Smith & Friends Estate Agents staff may benefit from referral incentives relating to these services.

Energy Efficiency Rating		
	Current	Potential
Very energy efficient - lower running costs		
(92 plus) A		
(81-91) B		
(69-80) C		
(55-68) D		
(39-54) E		
(21-38) F		
(1-20) G		
Not energy efficient - higher running costs		
England & Wales	66	78
EU Directive 2002/91/EC		

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